

THIS PLAN IS TO BE USED AS A GUIDE ONLY. ALL MINIMUM SIDEYARD DISTANCES MUST BE VERIFIED BY STANTEC GEOMATICS.

- Garage Location
- Hydrant
- C.C. Location
- Power Service
- Street Light
- Service Pedestal
- Transformer
- Critical Swale Grades
- Direction Of Surface Drainage

House Type \_\_\_\_\_

Finished Floor \_\_\_\_\_

Bottom Footing \_\_\_\_\_

Finished Grade Front \_\_\_\_\_

Finished Grade Back \_\_\_\_\_

Bottom Back Door Sill \_\_\_\_\_

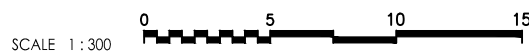
Bottom Bsm't Window \_\_\_\_\_

Top Conc. Bsm't Wall \_\_\_\_\_

Finished Garage Floor \_\_\_\_\_

Sanitary Sewer Invert \_\_\_\_\_

JOIST \_\_\_\_\_ CONC. WALL \_\_\_\_\_ FOOTING \_\_\_\_\_



RSL

\*It is the responsibility of the builder to contact the soils consultant to determine if there are any special considerations pertaining to house foundation construction.  
 \*The elevation of this house has been designed so that it will be in conformance with the lot grading plan.  
 \*This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.  
 \*Stantec Geomatics will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approvals.  
 \*All dimensions and services shown must be confirmed by contractor prior to excavation.  
 \*All distances shown are in metres and decimals thereof.



Stantec Geomatics Ltd.  
 10160-112th Street NW  
 Edmonton, Alberta, Canada  
 T5K 2L6  
 Tel. 780-917-7000  
 Fax. 780-917-7289  
 www.stantec.com

Legal Description  
 UNIT 22 BLOCK 11 PLAN UN-REG.  
 KESWICK  
 Municipal Address  
 EDMONTON  
 Builder  
 Title  
**Plot Plan**  
 Your File:  
 VES-11/04/2015